

MARKEING AREA

Common Area:
Landscape: 59m squared
Driveway: 223m2
Pedestrian pathway: 46m2

Unit 1:
Lower ground floor area: 26m2
Garage = 43m2
Ground floor area: 110m2
Deck area = 23m2
First floor area: 98m2
Private open space: 25.9m squared
Secluded private open space: 89.5m squared

Unit 2:
Lower ground floor area: 32m2
Garage = 43m2
Ground floor area: 104m2
Deck area = 46.6m2
First floor area: 95.5m2
Private open space: 20.1m squared
Secluded private open space: 50.5m squared
POS area: 70.6m squared

Unit 3:
Lower ground floor area: 92.6m squared
Garage = 41m2
Ground floor area: 90.5m2
Deck area = 13.5m2
First floor area: 62m2
Private open space (GF COURTYARD): 6.8m squared
Secluded private open space: 107.3m squared
POS area: 114.1m squared

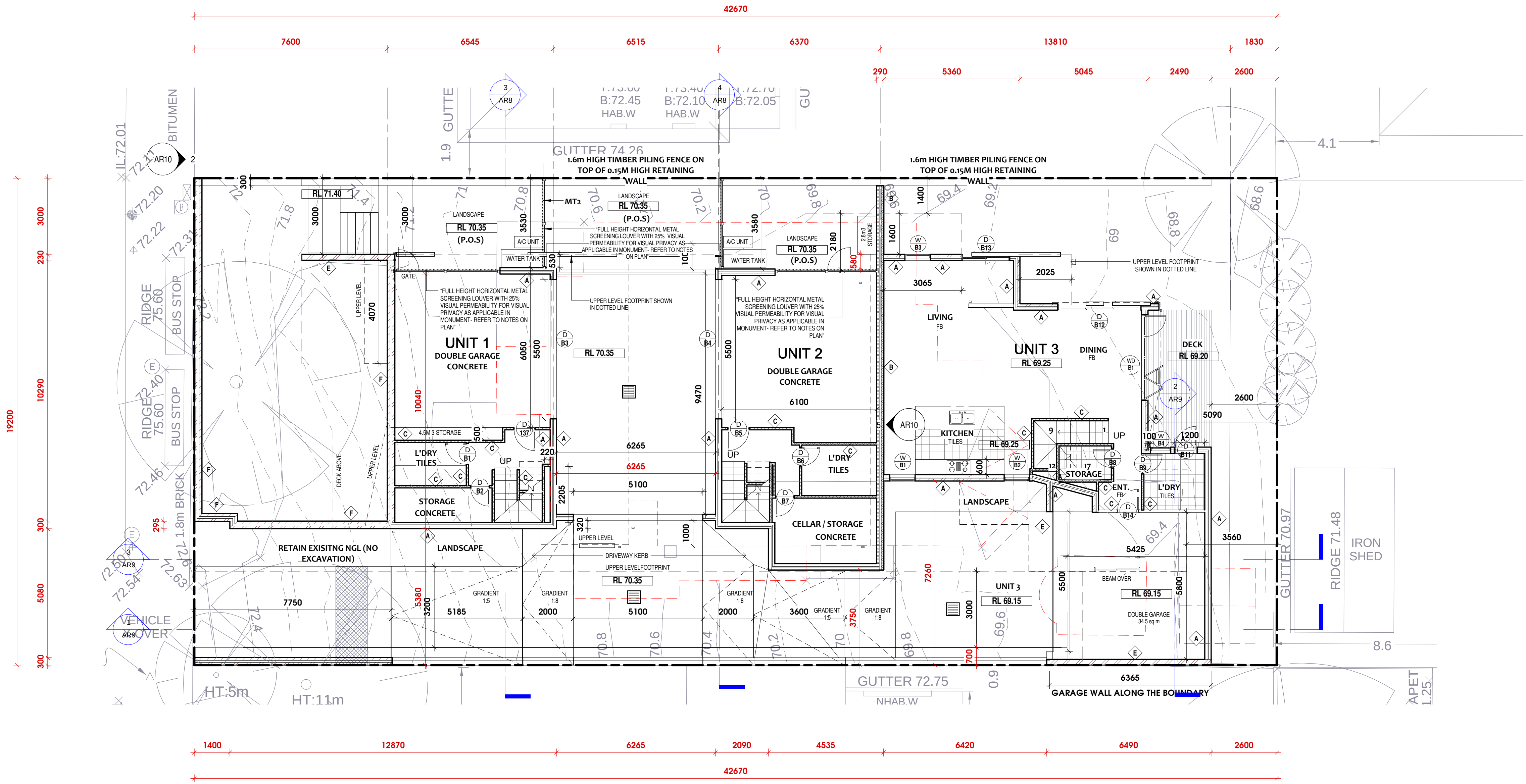
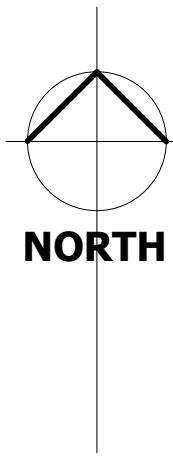
TOTAL SITE AREA: 819.4m squared
SITE PERMEABILITY: 21.9%
Permeable area: 180.0m squared
Non-permeable area: 639.4
SITE COVERAGE: 54.6%
Building area: 448m squared

**PLANNING & ENVIRONMENT ACT 1987
BOROONDARA PLANNING SCHEME**

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Delegate for the Responsible Authority
(City of Boroondara)
BOROONDARA
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This Planning Permit and approved plans do not
allow the removal of a canopy tree under the Tree
Protection Local Law. A Local Law Tree Permit
may be required to remove a canopy tree and/or
to undertake works within 2.0m of a tree.



REV	DATE	AMENDEMENTS
C	23/5/2019	FOLLOWING COUNCIL COMMENTS
b	3/10/2019	COUNCIL REQUIREMNTS
A	04/10/2018	CEILING OF THE FIRST FLOOR LEVEL AMENDED

DEMOLITION OF EXISTING DWELLING
AND CONSTRUCTION OF THREE
THREE-STOREY RESIDENTIAL
DWELLINGS

956 Burke Road Deepdene

**SITE SETOUT & AREA
ANALYSIS**

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AR2

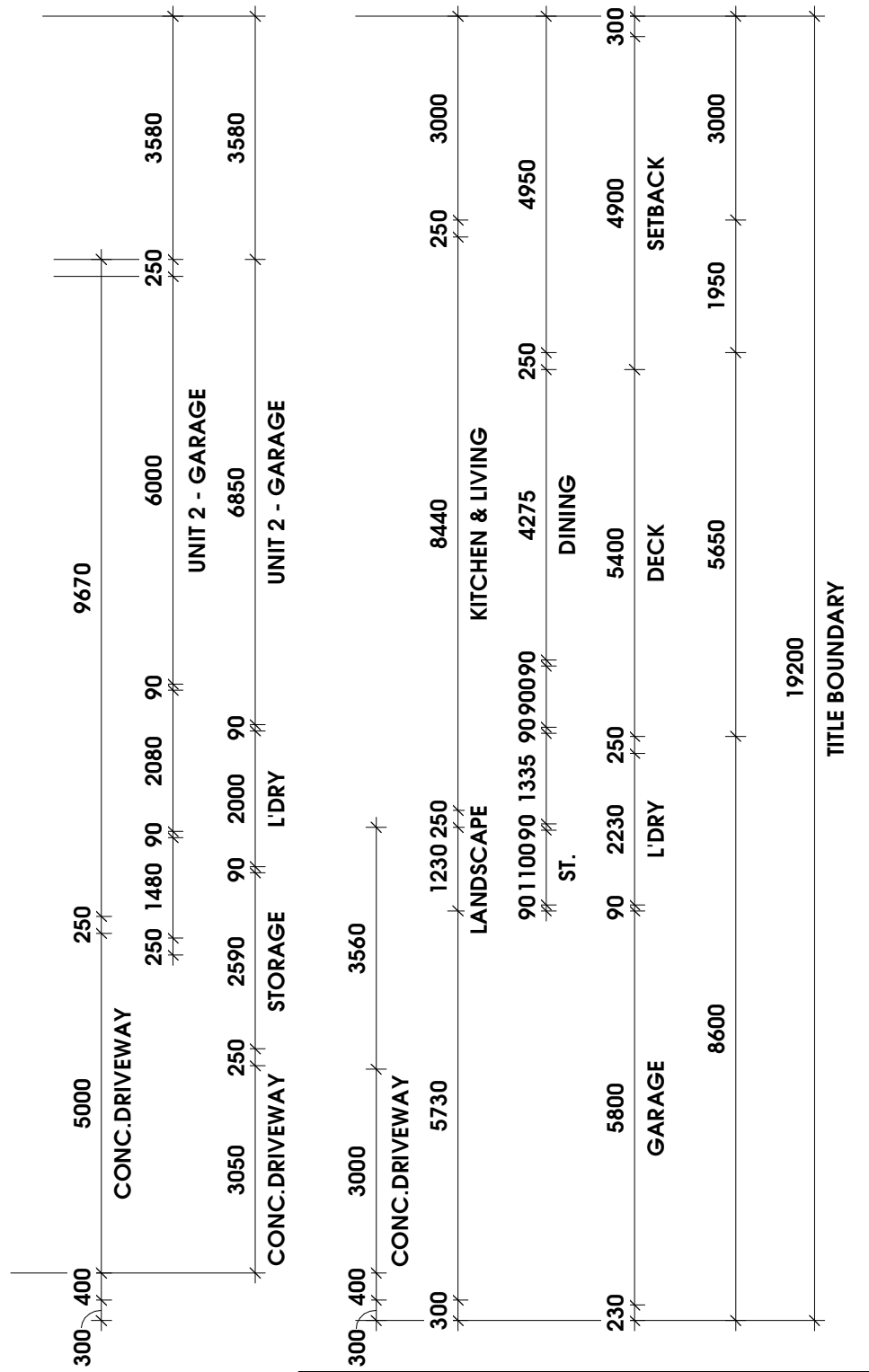
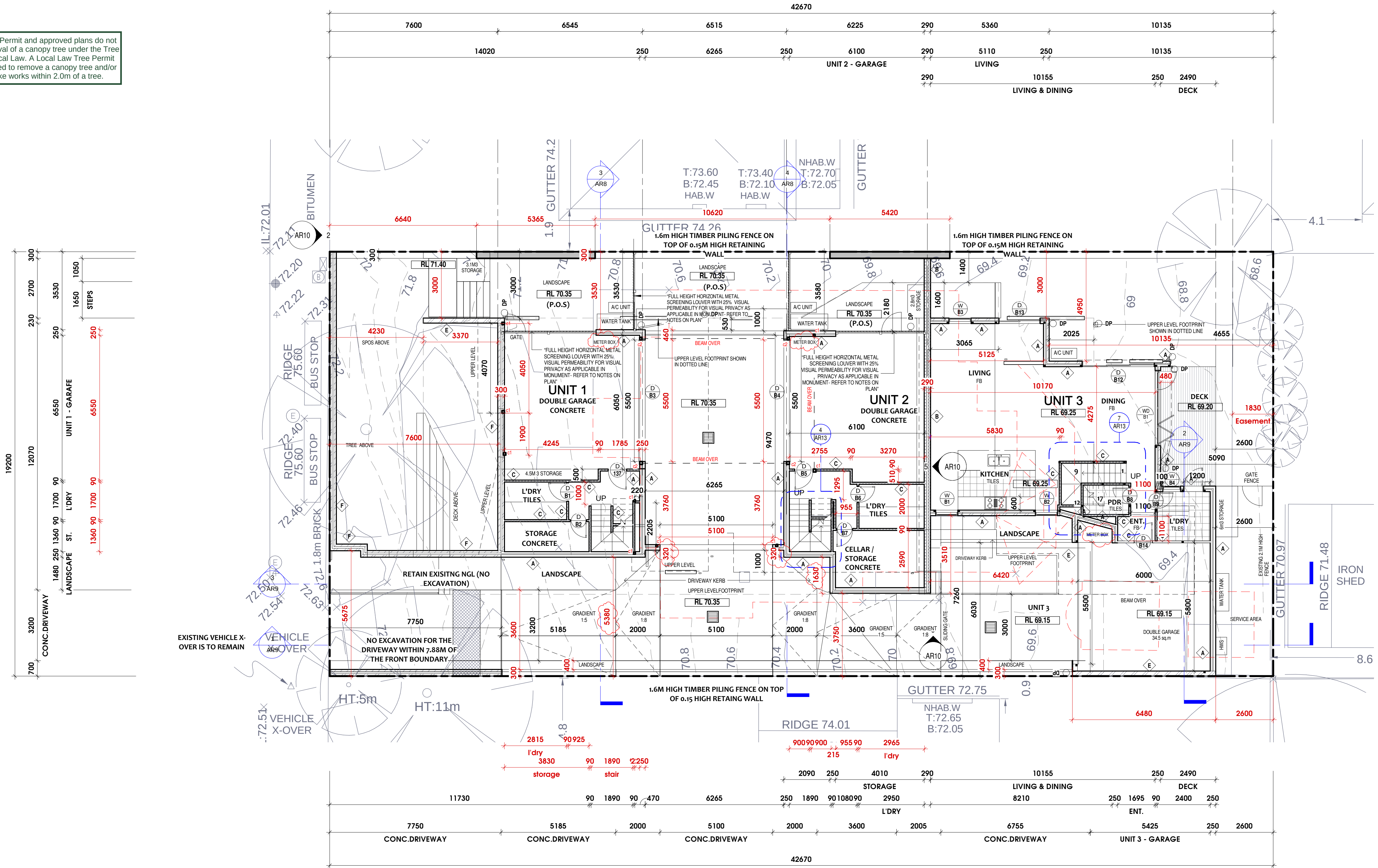
REV C Scale 1 : 100

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LOWER GROUND FLOOR

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AR3

REV C Scale 1 : 100

NOTE: ROOF AREAS:
NOTE: STORMWATER FROM THE
ROOF AREA ONLY IS TO BE
COLLECTED AND DRAINED INTO THE
1100L RAINWATER TANKS AND THE
TANKS/WATER IN TO BE CONNECTED
AND USED FOR TOILET FLUSHING IN
ACCORDANCE WITH THE 'STORM
REPORT DATED 12TH OCTOBER 2014

NOTE: BALCONY DOWN PIPES.
ALLOW TO RUN STORMWATER
FROM DOWNPIPES THROUGH
FLOOR JOISTS AND CONNECT
TO OUTER DOWNPIPES

BALCONY WASTE
OUTLETS.
ALLOW TO CONNECT ALL
WASTES INTO
STORMWATER SYSTEM

NOTE: ALL STRUCTURES AND
PLANTING WITH-IN THE
PEDESTRIAN VISIBILITY SPLAYS
ARE TO BE IN -ACCORDANCE
WITH CLAUSE 52.06-8 (DESIGN
STANDARDS FOR CAR
PARKING) OF THE MOONEE
VALLEY PLANNING SCHEME

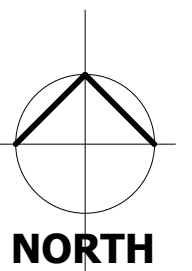
EAVES NOTES:
REFER TO STANDARD
DETAILS ATTACHED

WALLS ALONG
BOUNDARY ARE
VIA OVERHANG
CONSTRUCTION

NOTES:
- SELECTED COLORBOND
DOWN PIPES, FACSIA AND
GUTTERS
- SELECTED COLORBOND
ROOF DECKING.
-NOTE:
FOR ROOFS AT 2 DEGREE
PITCH PROVIDE
"CONCEALED FASTENED
FIXING" TO ROOF DECKING

VISUAL SPLAYS SHOWN DOTTED:
PROVIDE PEDESTRIAN VISIBILITY SPLAYS
MEASURING 2.0M ACCROSS FRONTAGE
BY 2.5M DEPTH INTO SITE, EITHER SIDE
OF ACCESSWAY. ANY STRUCTURES OR
PLANTING WITH-IN SPLAYS MUST BE NOT
MORE THAN 1.15M IN HEIGHT

BOX GUTTER NOTES:
BOX GUTTERS TO MIN
350MM WIDE x 100MM
MIN DEEP

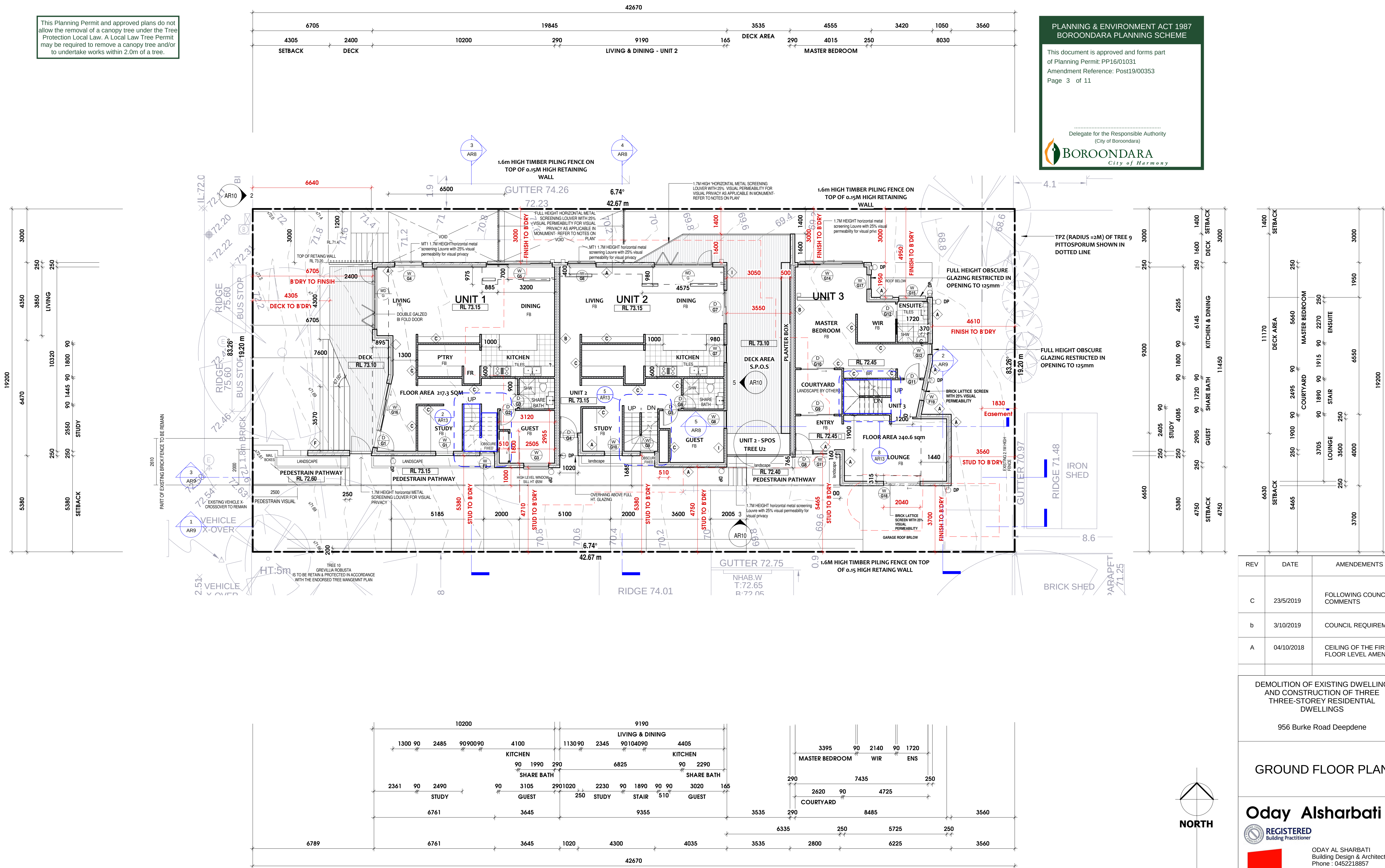


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THREE-STOREY RESIDENTIAL
DWELLINGS

956 Burke Road Deepdene

GROUND FLOOR PLAN

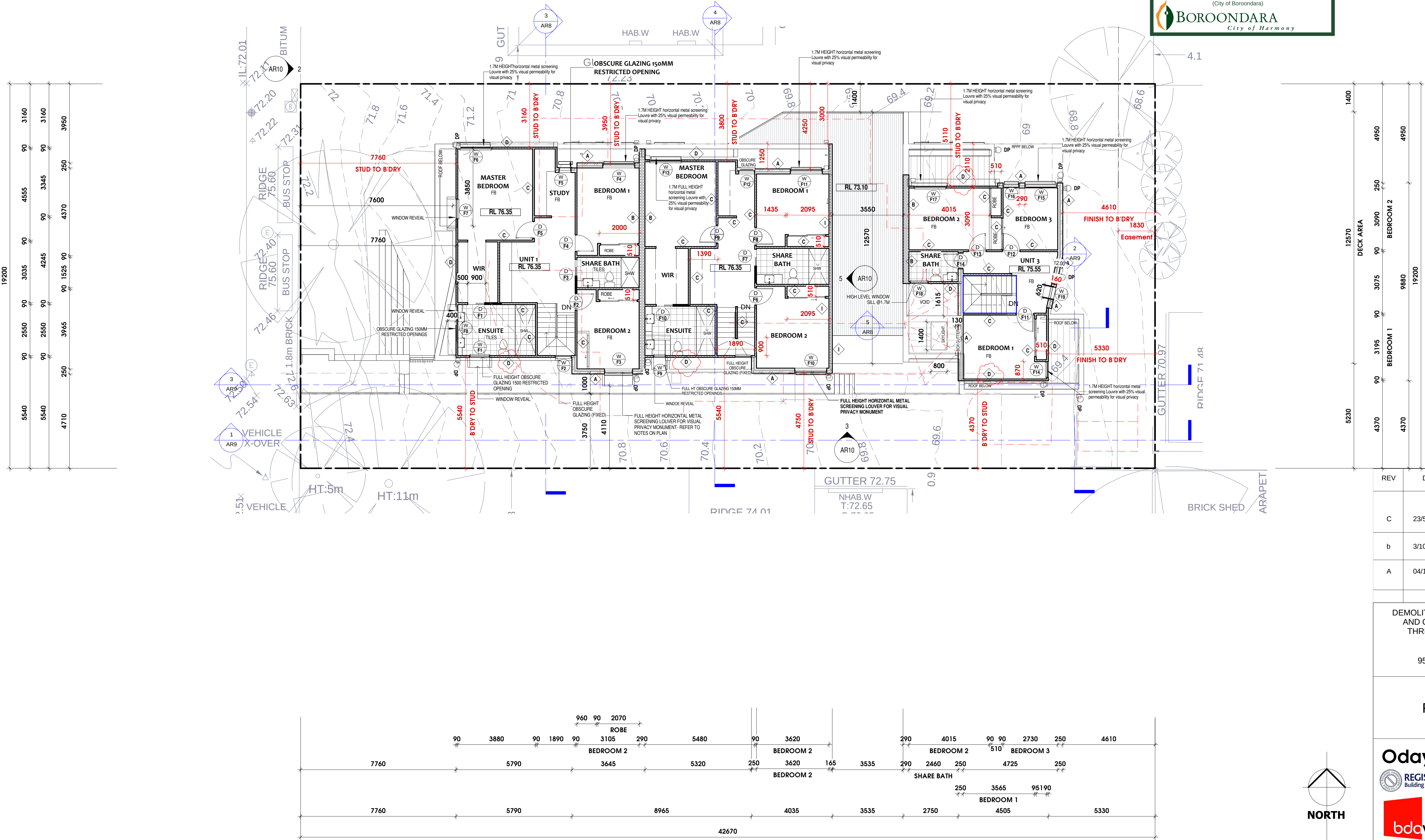
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AR4

REV C Scale 1 : 100

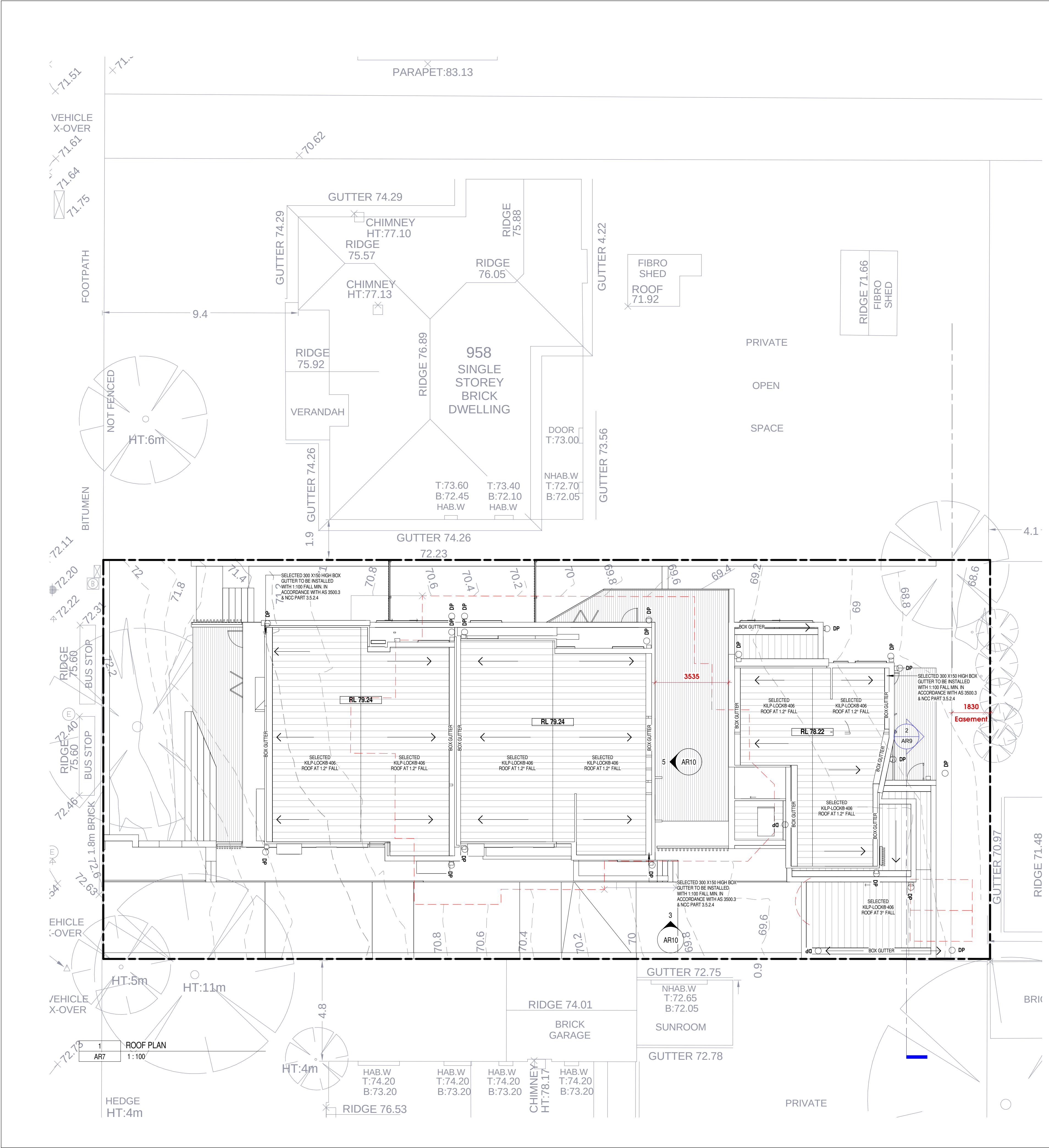


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DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF THREE THREE-STOREY RESIDENTIAL DWELLINGS
956 Burke Road Deepdene
FIRST FLOOR

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AR5	
REV C	Scale 1 : 100



- ROOF NOTES:
1. ROOF AND WALL COVERING MATERIALS MUST BE OF SPECIALIST MANUFACTURE AND FIXED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND MANUFACTURER'S INSTRUCTIONS, AND BE COMPLETED WITH ALL GRADIENTS, CAPPINGS, FLASHINGS AND SEALING NECESSARY TO PREVENT THE PENETRATION OF RAIN OR OTHER WATER TO THE INNER PARTS OF THE BUILDINGS.
 2. ROOF COVERINGS AND CAPPINGS SHALL BE FIXED TO PREVENT UPLIFT OF THE ROOF CLADDING BY THE WIND.
 3. CARRY OUT ALL NECESSARY OPERATIONS FOR THE SATISFACTORY PERFORMANCE OF THE ROOF, INCLUDING CUTTING AT JUNCTIONS, TRIMMING AROUND PENETRATIONS, FLASHINGS, GUTTERS, DOWNPIPES AND THE LIKE.
 4. PROTECT THE ROOFING SYSTEM AND COMPONENTS FROM DAMAGE THROUGHOUT THE WORKS. AVOID CONSTRUCTION LOADS ON THE ROOF.
 5. KEEP THE RAINWATER SYSTEM FREE OF FOREIGN MATTER AND LEAVE THEM UNOBSTRUCTED ON COMPLETION. DISCOLOURATION OR OTHER DAMAGE RESULTING FROM NEGLECT OF PROTECTIVE MEASURES SHALL BE CAUSE FOR REJECTION.
 6. FLASHINGS, CAPPINGS AND THE LIKE SHALL BE PREFABRICATED WHERE POSSIBLE, FORMED TO REQUIRED SHAPES, NOTCHED, SCRIBED, FLUTED OR DRESSED DOWN AS NECESSARY TO FOLLOW PROFILES OF ADJACENT SURFACES. PRE-FORM AND NEATLY MITRE ANGLES.
 7. WHERE JOINTS IN FLASHING ARE REQUIRED, MAKE BUTT JOINTS OVER A BACKING STRIP OF THE SAME MATERIAL. LAP JOINTS IN RUNNING LENGTHS 150MM SEAL JOINTS WITH SEALANT BEADS AND MECHANICALLY FASTEN THE JOINT BY RIVETTING/SCREWING SOLDERING. PLACE SOME SEALANT OVER AND AROUND THE FASTENERS. RIVETS SHALL BE BLIND POP RIVETS UNLESS OTHERWISE SPECIFIED. SEALANT SHALL BE NEUTRAL SILICONE RUBBER.
 8. ON COMPLETION OF THE WORKS, CLEAN DOWN ROOF AND REMOVE ALL EXTRANEOUS MATERIALS. CHECK TO ENSURE THAT THE ROOF IS WATERPROOF AND THAT ALL MEMBERS ARE SECURELY FIXED.

PLANNING & ENVIRONMENT ACT 1987
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956 Burke Road Deepdene		
ROOF PLAN		
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AR6		
REV C	Scale	1 : 100

1.7M HEIGHT VERTICAL METAL SCREENING LOUVER FOR VISUAL PRIVACY
MONUMENT-REFER TO NOTES ON PLAN

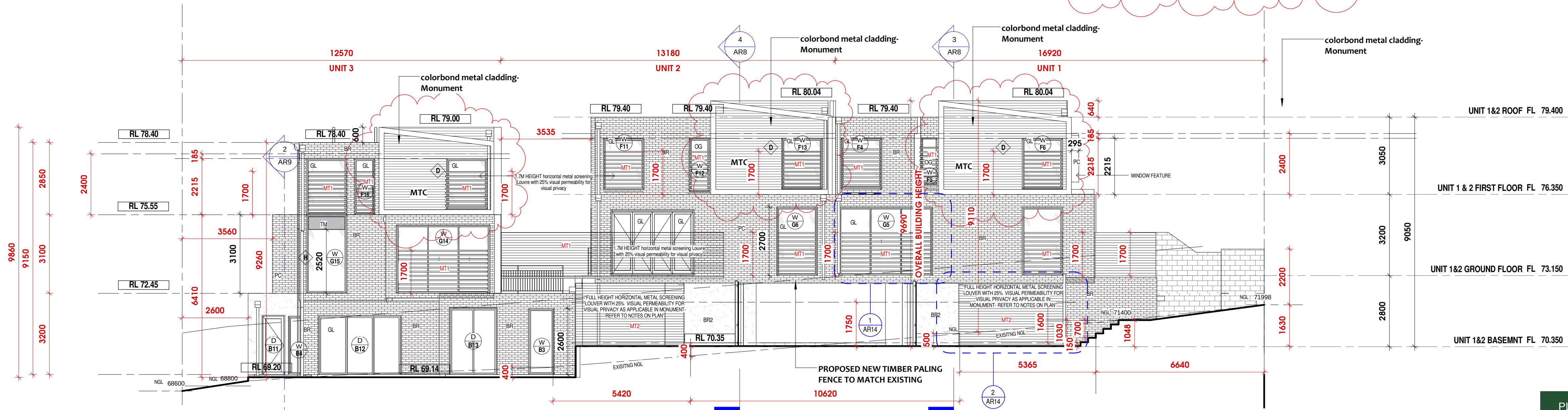
MT1 1.7M HEIGHT HORIZONTAL METAL SCREENING LOUVER FOR VISUAL PRIVACY
MONUMENT-REFER TO NOTES ON PLAN

MT2: "FULL HEIGHT HORIZONTAL METAL SCREENING LOUVER WITH 25% VISUAL
PERMEABILITY FOR VISUAL PRIVACY AS APPLICABLE IN MONUMENT- REFER TO
NOTES ON PLAN"

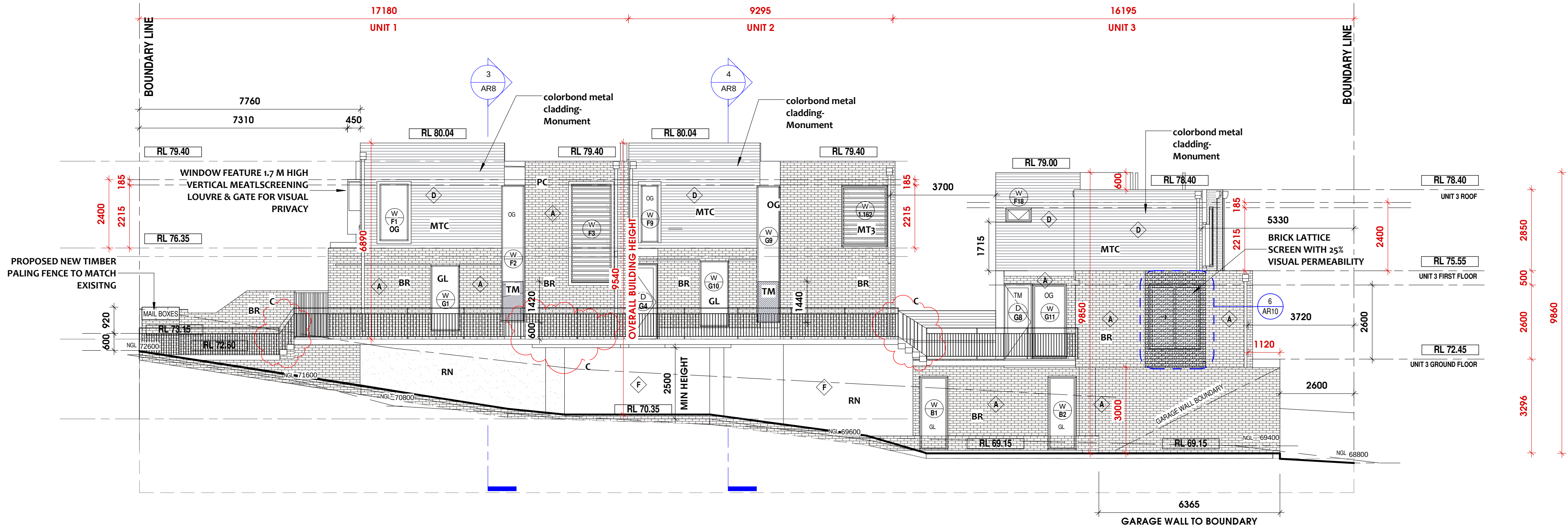
RN: Acrylic Render- off-white
RN2: Acrylic Render- grey
MT: Painted metal flat plate railing- monument
MT1: 1.7m HEIGHT HORIZONTAL METAL SCREENING
LOUVER WITH 25% VISUAL PERMEABILITY FOR VISUAL
PRIVACY AS APPLICABLE IN MONUMENT- REFER TO
NOTES ON PLAN"

MT2: FULL HEIGHT HORIZONTAL METAL SCREENING
LOUVER WITH 25% VISUAL PERMEABILITY FOR VISUAL
PRIVACY AS APPLICABLE IN MONUMENT- REFER TO
NOTES ON PLAN"

MTC: Metal cladding- monument
PC: Powdercoat finish- monument
TM: Timber finish or similar- light timber
GL: Window/door glazing- clear
OG: Obscure window glazing- obscure
BR: Face brick- off-white
BR2: Face brick- dark grey
RF: Metal colorbond roofing- monument
RF2: Metal colorbond roofing- light grey



1 NORTH ELEVATION
A690 1 : 100



2 SOUTH ELEVATION
A690 1 : 100

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ELEVATIONS - SHEET 1

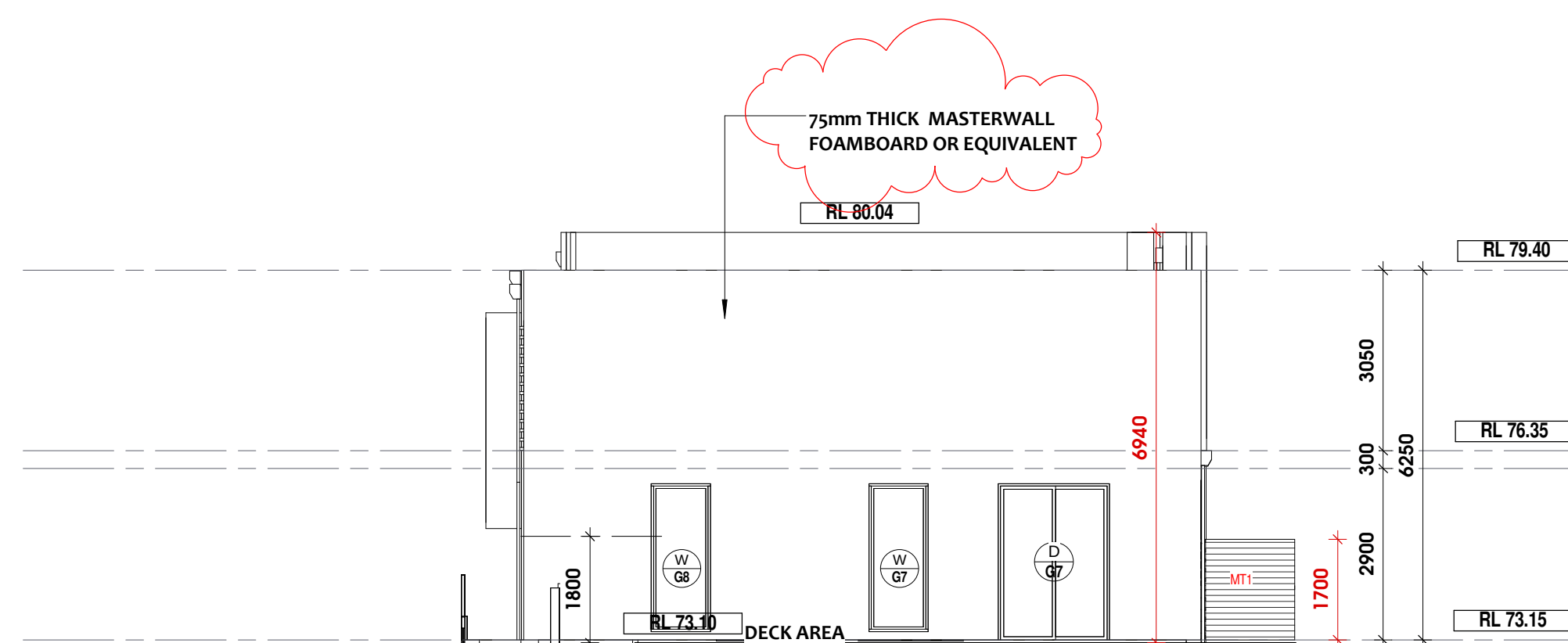
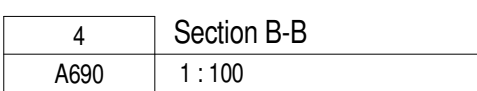
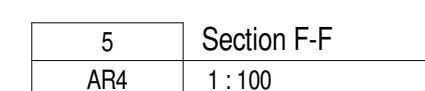
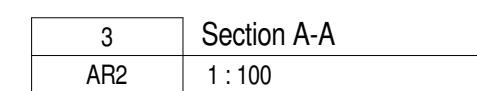
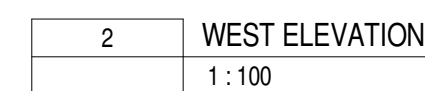
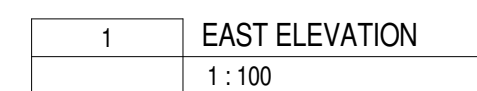
Oday Alsharbaty

REGISTERED
Building Practitioner

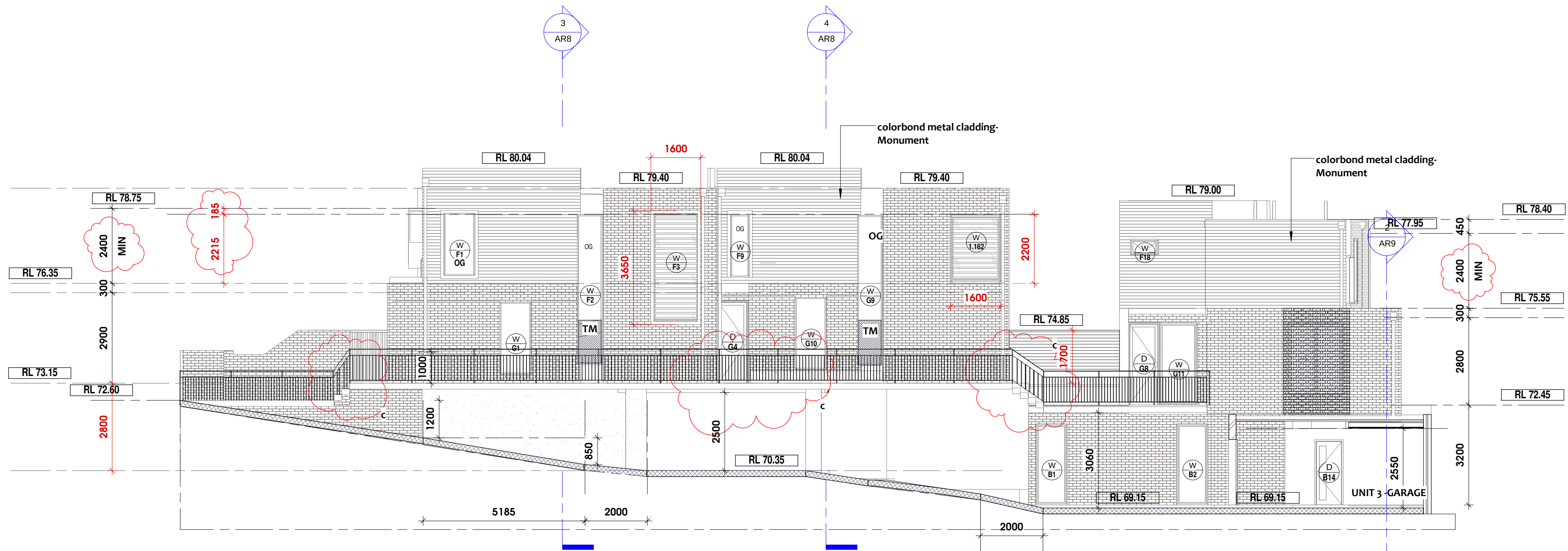
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AR7

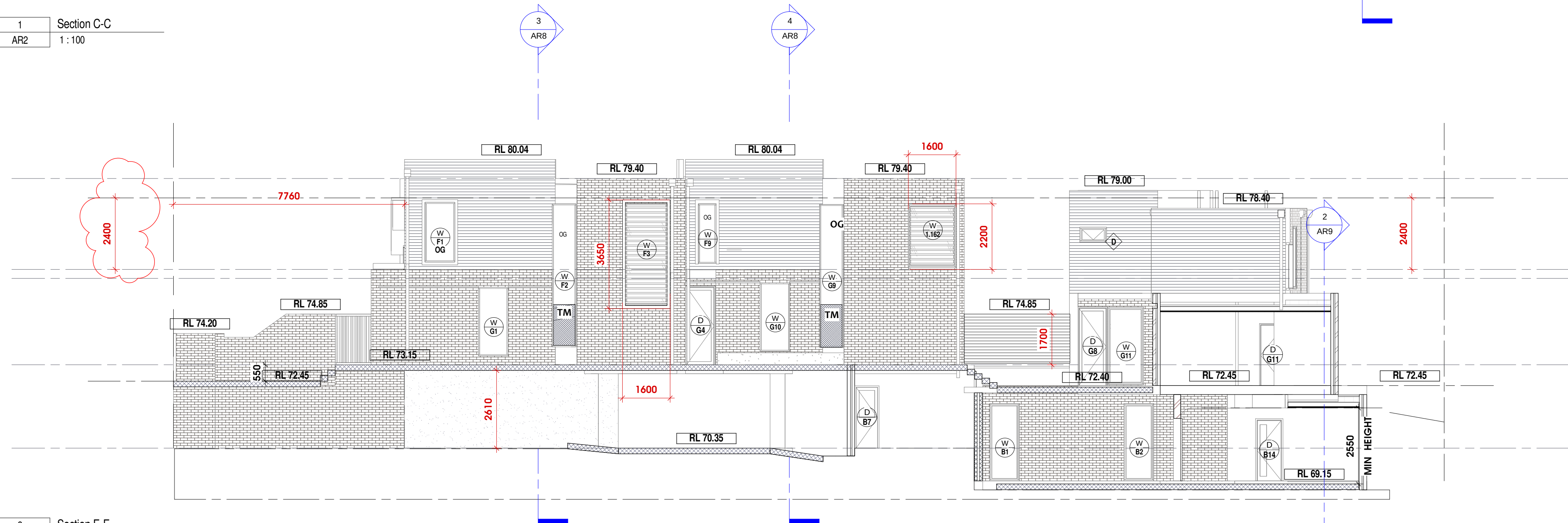
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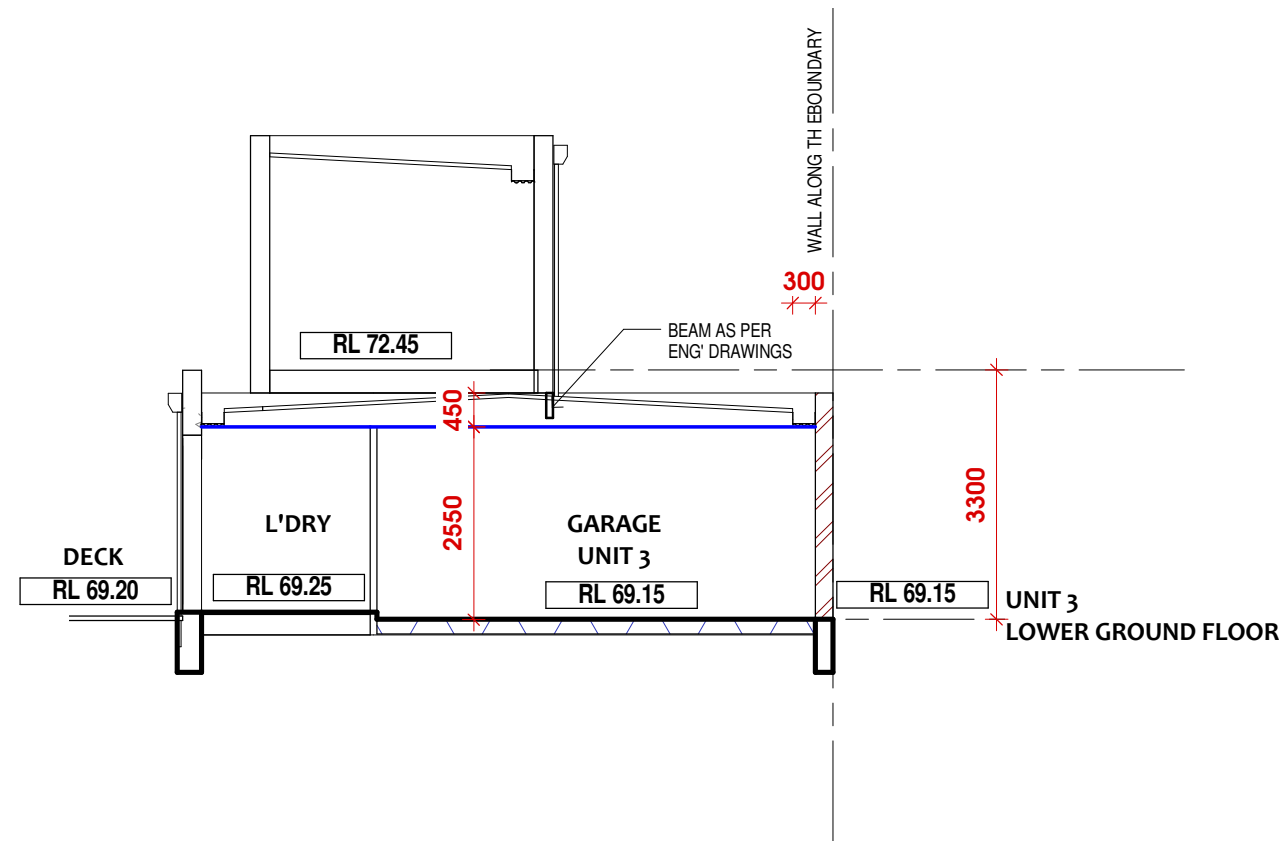
REV	C	Scale	As indicated
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1 Section C-C
AR2 1:100



3 Section E-E
AR2 1:100



2 UNIT 3- GARAGE - SEC
A690 1:100

	TYPE A 250mm BRICK VENEER WALLS 90mm STUD WALLS -10mm SELECTED EXTERNAL BRICK FACE -10mm PLASTER (AQUACHECK TO WET AREAS) -10mm PLASTER (AQUACHECK TO WET AREAS) -ACQUASTIC INSULATION BATTS AS PER ENERGY REPORT
	TYPE B 200mm BORAL PARTWALL SYSTEM - SYSTEM No. 25TP1010A -10mm PLASTER SOUNDSTOP PLASTERBOARD TO EACH SIDE (AQUACHECK TO WET AREAS) -90mm STUD WALL -1x 25mm SHAFTLINER PANEL -90mm STUD WALL -10mm PLASTER SOUNDSTOP PLASTERBOARD TO EACH SIDE (AQUACHECK TO WET AREAS) -85 115mm THICK R2.5 CEILING BATTS TO WALLS NOTE: PROVIDE MIN. 20MM CAVITY BETWEEN STUD FRAME AND SHAFTLINER
	TYPE C 90mm STUD WALLS -10mm PLASTER (AQUACHECK TO WET AREAS) -10mm PLASTER (AQUACHECK TO WET AREAS)
	TYPE D 90mm STUD WALLS -METAL CLADDING - MONUMENT COLOR AS PER MANUFACTURES DETAILS -ACQUASTIC INSULATION BATTS AS PER ENERGY REPORT -BATTENS AS PER ENGINEERING SPECIFICATIONS -INSULATIONS AS PER ENERGY RATING REPORT -1X16mm GYPROCK PYROCHEK MR PLASTERBOARD
	TYPE E 230mm DOUBLE BRICK WALLS and 110mm SINGLE SKIN BRICK WALLS
	TYPE F RETAINING WALL 300mm -110mm SELECTED EXTERNAL BRICK FACE -80mm CAVITY -110mm SELECTED EXTERNAL BRICK FACE
	TYPE G BORAL WALL SYSTEM - SYSTEM No. 126256F 90mm STUD WALLS -FIRE RATED INTERNAL WALLS RRL 90/90/90 -10mm PLASTER (AQUACHECK TO WET AREAS) -90mm STUD WALL -2x 15mm FIRESTOP PLASTERBOARD TO BOTH SIDES (NON COMBUSTIBLE) -ACQUASTIC INSULATION BATTS AS PER ENERGY REPORT
	TYPE H 50mm THICK SELECTED EXPANDED POLYSTYRENE CLADDING WITH SELECTED RENDER FINISH STUD WALL FRAMING TO ENGINEERS DETAILS (MIN. 90mm X 45mm COMMON STUDS AT 450mm MAX. CTS) NOGGINGS AT 1350mm MAX. CTS -1X16mm GYPROCK PYROCHEK MR PLASTERBOARD
	TYPE I 75mm THICK MASTERWALL FOAMBOARD OR EQUIVALENT STUD WALL FRAMING TO ENGINEERS DETAILS (MIN. 90mm X 45mm COMMON STUDS AT 450mm MAX. CTS) NOGGINGS AT 1350mm MAX. CTS -1X16mm GYPROCK PYROCHEK MR PLASTERBOARD

WALL LEGEND
1:10

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DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF THREE THREE-STORY RESIDENTIAL DWELLINGS

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SECTIONS

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AR9

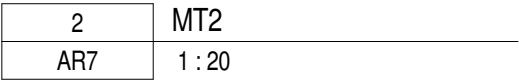
REV C Scal As indicated



UNIT 1&2 GROUND FLOOR FL. 73.150

UNIT 1&2 BASEMENT FL. 70.350

2500



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City of Harmony

Oday Alsharbati

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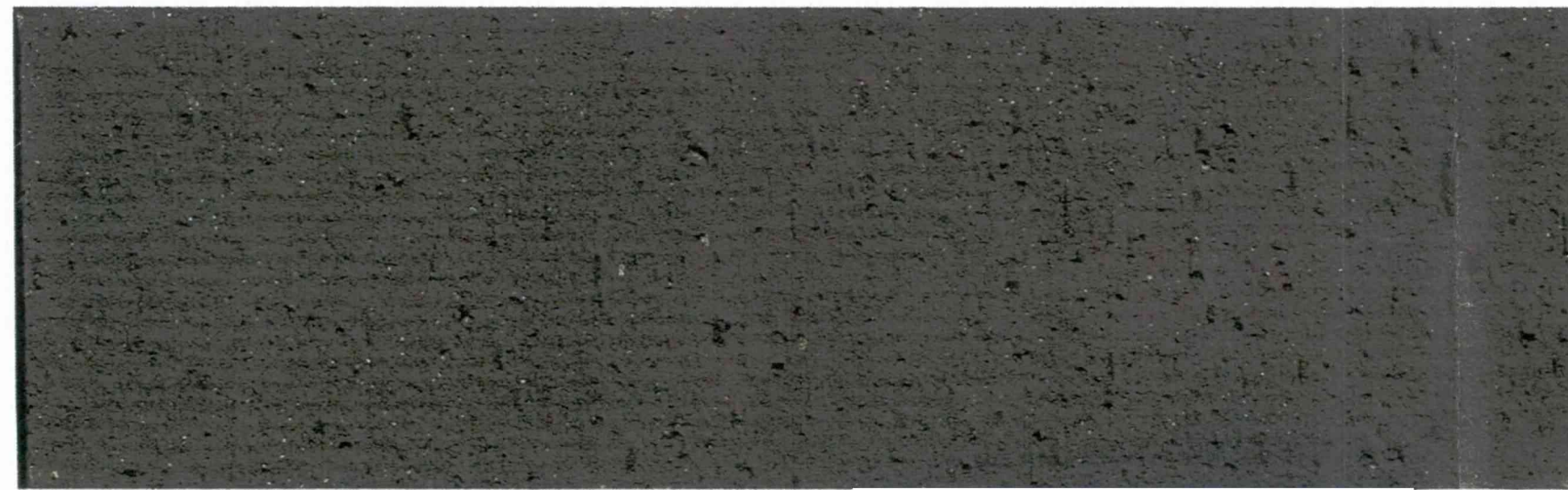


BR FACE BRICK (OFF-WHITE)

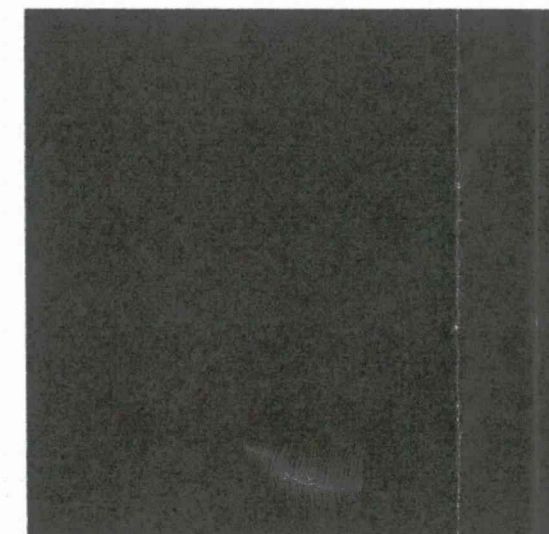


TM TIMBER FINISH OR SIMILAR
(LIGHT TIMBER)

RN ACRYLIC RENDER (OFF-WHITE)



BR2 FACE BRICK (DARK GREY)



COLOUR: MONUMENT

RN2 ACRYLIC RENDER (GREY)

- MT PAINTED METAL FLAT PLATE RAILING
MT1 PAINTED METAL FLAT PLATE SCREEN 1
MT2 PAINTED METAL FLAT PLATE SCREEN 2
PC POWDER COAT FINISH
MTC METAL CLADDING



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NO.	REMARKS	REVISION	ISSUE DATE	ISSUE BY
1	MATERIAL SWATCHES AND COLOUR PALATE	A	27/10/2016	HW

ISSUE \ TOWN PLANNING SUBMISSION
PROJECT \ 956, BURKE ROAD, DEEPPENE
CLIENT \ DANIEL WONG
DRAWING TITLE \ MATERIAL SWATCHES & COLOUR PALATE

100% NOTED
THE DRAWING IS TO BE USED FOR THE PROJECT ONLY AND IS NOT TO BE REPRODUCED OR DISTRIBUTED WITHOUT THE WRITTEN CONSENT OF RST ARCHITECTS. ANY BREACH OF THIS CONDITION WILL RESULT IN LEGAL ACTION BEING TAKEN AGAINST THE USER.

STATUTORY PLAT 100
15 DEC 2017
RST

SCALE \	DRAWN BY \
NTS @ A3	HW/RV
PROJECT NO \	REV \
RTK02-15	C
DRAWING NO \	DATE \
TP015	20.07.2017
	CHECKED BY
	RY